Recreation and Culture Master Plan Draft Review Open House

What is a Master Plan?

It is an **overall framework** that guides the **development**, **delivery**, and continuous **improvement** of **recreation**, **parks**, **and leisure programs**, **services**, and **facilities**.

How has the draft Master Plan been developed?

Inventory & Utilization

How well are Regional facilities and spaces being used?



Plan Review

What relevant information is included in Provincial and Regional planning documents? Recreation & Culture Master Plan

Trends & Issues

What trends and issues are there in the provision of recreation and culture services?

Regional Distict Input

Council and staff interviews and surveys.

Population & Demographics

How will the existing and potential future populations in the Region impact the need for recreation and culture services?





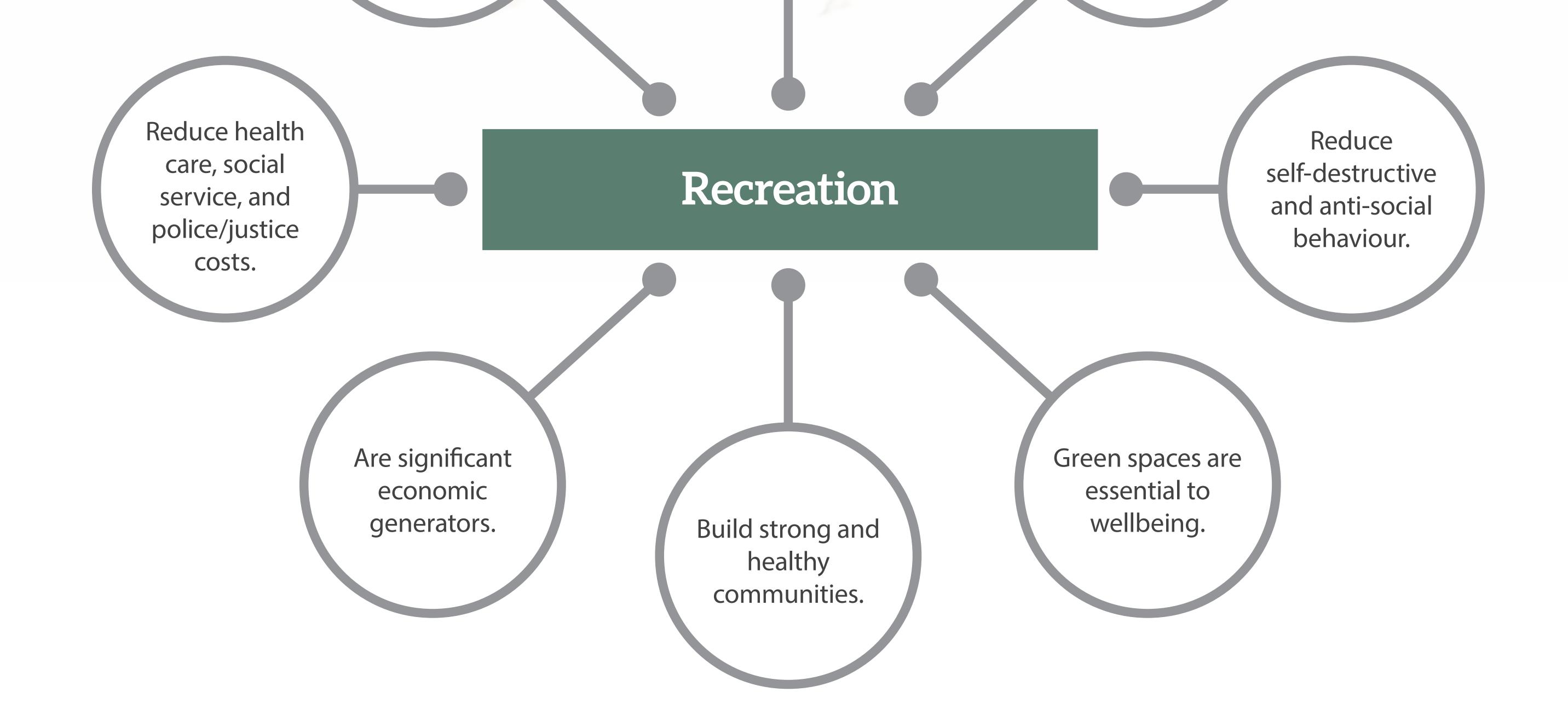




What are the benefits of recreation?

Are essential to personal health and wellbeing. Provide a foundation for quality of life.

Provide the key to balanced human development.























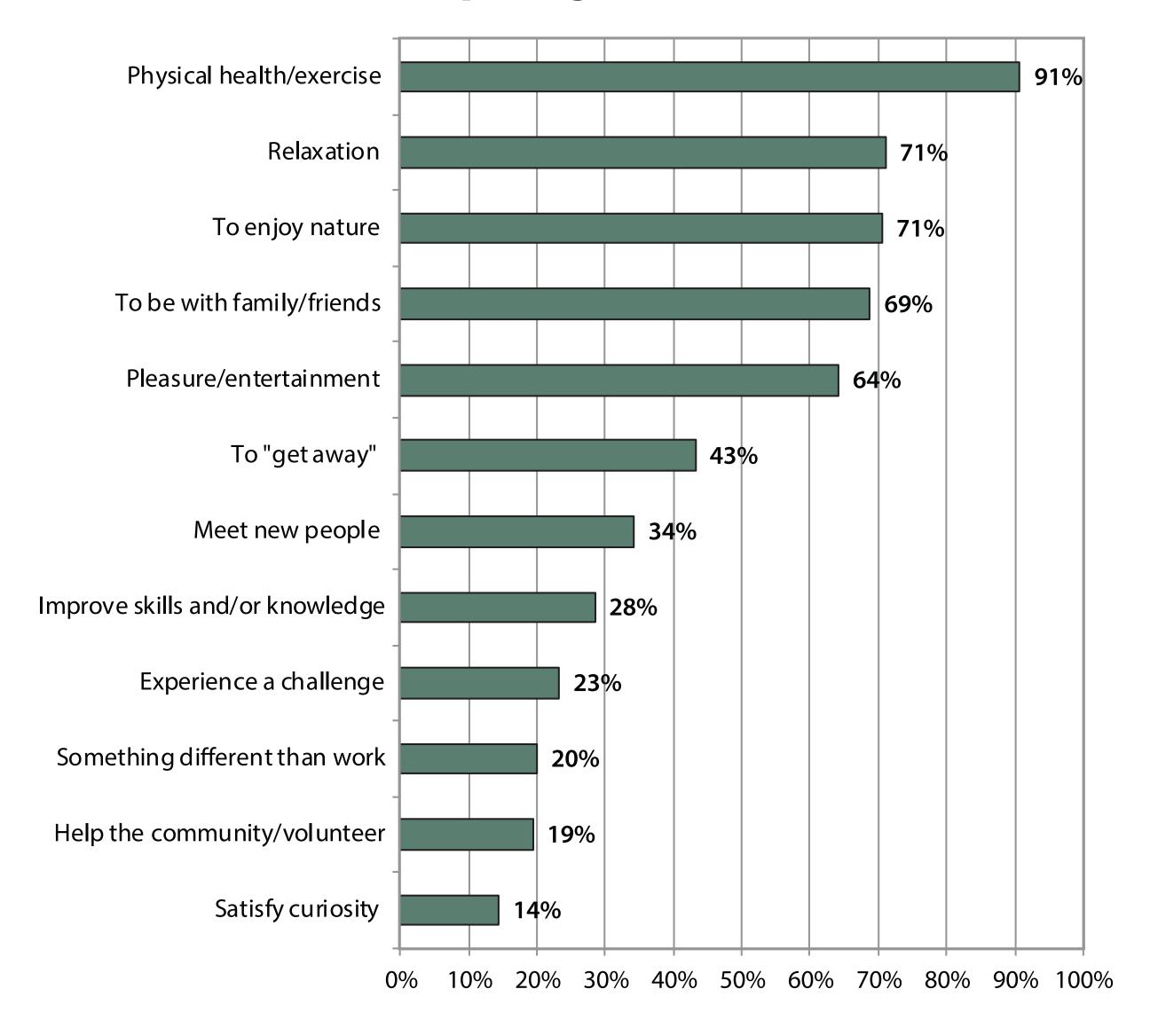


The City of Castlegar and Areas I & J Consultation Findings

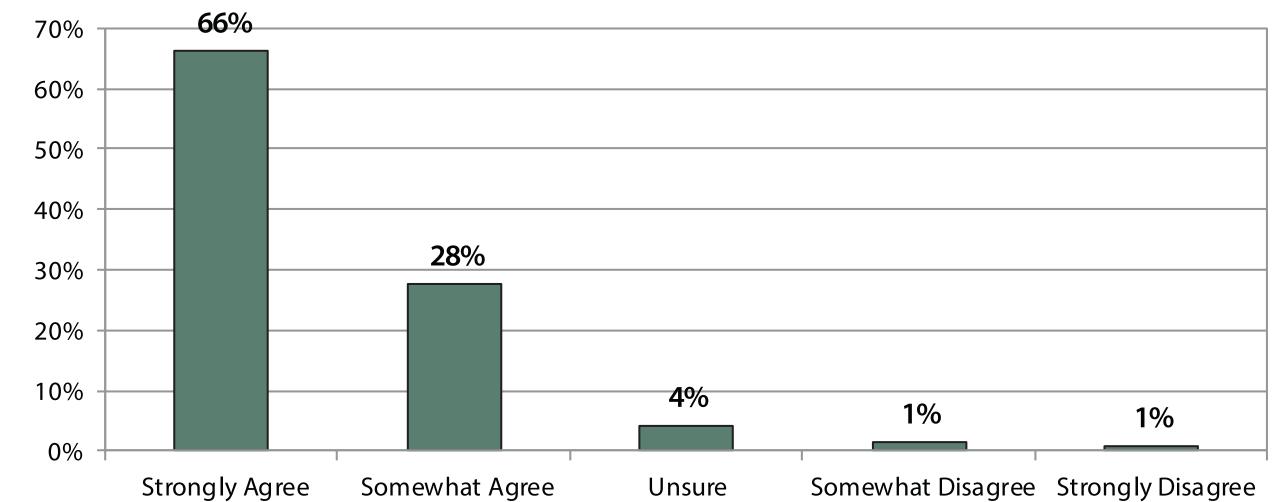
Methodology	Responses
Resident Household Survey	792 Households

Community Group Questionnaire	17 Group Responses
Stakeholder Discussions	11 Sessions (~51 Participants)

Reasons for Participating in Recreation Activities

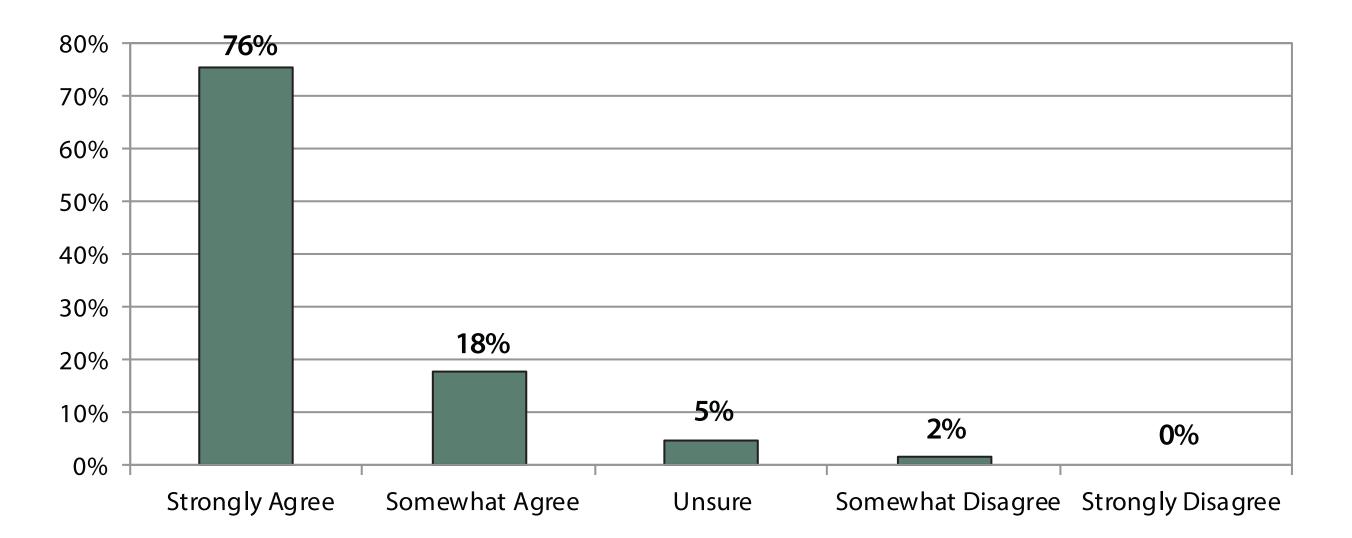


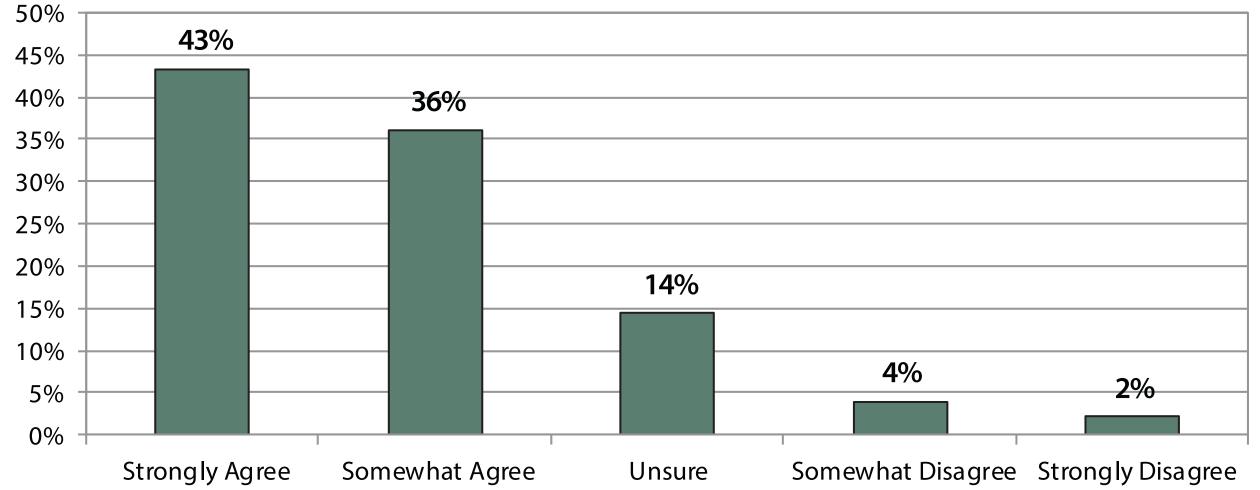
Recreation Services, Parks, Trails, and Pathways Bring the Community Together



Residents Can Benefit Even if They Do Not Use Recreation Services, Parks, Trails, and Pathways Directly

The Community as a Whole Benefits from Recreation and Programs and Services











A Draft Foundation for Planning

Vision

We envision a region in which everyone is engaged in meaningful, accessible recreation experiences that foster:



Values

- Individual wellbeing;
- Community wellbeing; and
- The wellbeing of our natural and built environments.
- 1. Recreation as a public good.
- 2. Inclusion and equity for all.
- 3. Sustainability of service provision.

Priority Areas

- 1. Foster Active Living Through Recreation.
- 2. Ensure the Provision of Supportive Physical and

Goals

- 1. To facilitate healthier, more resilient individuals.
- 2. To foster stronger, more connected **communities**.

Social Environments that Encourage Participation in Recreation and Build Strong, Caring Communities.

- 3. Grow and Sustain the **Capacity** of the Recreation Field.
- 4. Increase Inclusion and Access to Recreation for Populations that Face Constraints to Participation.
- 5. Help People **Connect to** Nature Through Recreation.

3. To enhance stewardship, interpretation, and protection of natural environments.











Program Delivery: Draft Recommendations

- a. The CDRC should undertake community needs assessments on an ongoing basis. (Page 17)
- b. The CDRC should have an ongoing dialogue with all program providers to share information and coordinate program delivery. (Page 17)
- c. The viability of CDRC programs should be determined by considering social and financial sustainability. (Page 17)

d. The CDRC should use information gathered through the Master Plan process to guide the provision of programming (Page 19)

Using post-it notes please provide your comments about these program delivery recommendations.









Infrastructure: Draft Recommendations

- a. Key Facility Considerations: (Page 37)
 - Arenas: current utilization of the two ice sheets is between 60 65% of prime time use. The Pioneer Arena should be decommissioned once deemed unsafe. Should a second sheet of ice be developed, it should occur at the Castlegar and District Community Complex.
 - ii. Swimming Pools: focus to maintain and enhance existing facility including refreshment of leisure amenities.
 - iii. Senior Spaces: determine the enhanced space needs of the group with consideration of multipurpose space.
 - iv. Fitness and Wellness: expand the existing fitness and wellness space.
 - v. **Gymnasium/Indoor Field Space:** explore the development of this type of space when major recreation facility development occurs

Using post-it notes please provide your comments about these infrastructure recommendations.









Infrastructure: Draft Recommendations

b. The project development framework should be used when considering the development of significant recreation infrastructure (when public funding is required). (Page 41)

Strategic Planning Establishes needs and priorities.

Tactical Planning Clarifies how to best meet identified needs and priorities.

Preliminary Need Identified

- Does the recreation and parks project comply with the Goals and strategic intent set out by the RDCK or its delivery partners and the RDCK's Recreation and Culture Master Plan?
- Does the resource service RDCK residents?
- Have any of the feasibility planning thresholds/ triggers been met?

Needs Assessment

- Conduct needs assessments, including:
 - Resource provision in the market area;
 - » Demographics and growth;
 - » Trends; and
 - » Public consultation.
- Define the need for the resource in question. Have any of the feasibility planning thresholds/ triggers been met?

3 Months

Feasibility Analysis

- Explore impacts or resource development, including options for:
 - » Primary & secondary components;
 - » Potential sites; and
 - » Expansion (if existing) or building new.
- Impacts on existing resources.
- Capital and operating financial implications or resource provision.
- Business Plan.
- Recommended course of action.

3 Months

Resource Development

- Detailed design of project.
- Detailed business planning.
- Fundraising.*
- Construction.
- * If required.

12 – 24 Months

























Infrastructure: Draft Recommendations

c. This prioritization approach should be used to guide future recreation investment. (Page 44)



Demand	4 or 5 check marks.	2 or 3 check marks.	1 check mark.	no check marks.	
Social Good and Public Accessibility	3 Points: Provides social good and unlimited access to the general public.	2 Points: Provides social good and limited access to the general public.	1 Point: Provides social good and is not accessible to the general public.	0 Points: Does not provide social good and is not accessible to the general public.	4
Cost Savings Through Partnerships or Grants	3 Points: Partnership and/ or grant opportunities exist in development and/ or operating that equate to 50% or more of the overall project cost.	2 Points: Partnership and/or grant opportunities exist in development and/or operating that equate to 25% – 49% or more of the overall project cost.	1 Point: partnership and/or grant opportunities exist in development and/or operating that equate to 10% – 24% or more of the overall project cost.	0 Points: No potential partnership or grant opportunities exist at this point in time.	4
Current Provision in the Area and RDCK	3 Points: Project would add completely new activity to recreation and culture in the Castlegar area.	2 Points: Project would significantly improve provision of existing recreation and culture in the Castlegar area.	1 Point: project would significantly improve provision of existing recreation and culture in the RDCK but not within the Castlegar area	O Points: Activity is already adequately provided in the Castlegar area and the RDCK.	2
Economic Impact	3 Points: The activity or space will draw significant non-local investment into the area and will give the area provincial, national, and/ or international exposure.	2 Points: The activity or space will draw significant non-local investment into the area.	1 Point: The activity or space will draw moderate non-local investment into the area.	0 Points: The activity or space will not draw non-local investment into the area.	2
Overall Capital Cost	3 Points: The anticipated project capital cost is low (<\$1M).	2 Points: The anticipated project capital cost is moderate (\$1M – \$5M).	1 Point: The anticipated project capital cost is high (\$5M — \$20M).	0 Points: The anticipated project capital cost is very high (\$20M+).	1
Overall Operating Cost	3 Points: The project estimated operating costs are better than break even on an annual basis.	2 Points: The project operating costs are low (<\$50,000 annual subsidy).	1 Point: The project operating costs are moderate (\$50,000 — \$100,000 annual subsidy).	0 Points: The project operating costs are high (\$100,000+ annual subsidy).	1

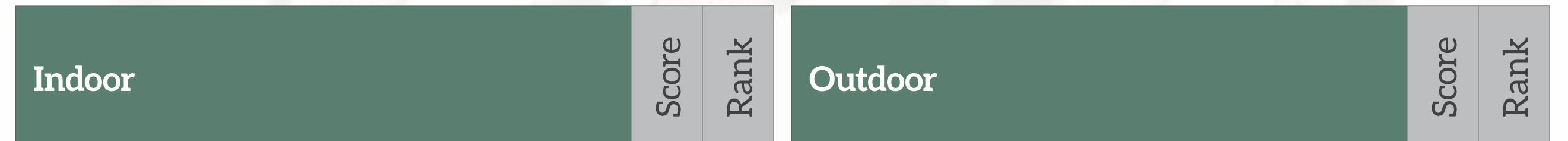






Space Priority Rankings

The following priority lists were determined by using the infrastructure prioritization process presented. (Page 45)



Walking/Running Track	35	1	Walking Trail System	40	
Fitness/Wellness Facilities (exercise/weight room)	33	2	Interpretive Trails	39	
Indoor Field Facilities (e.g. soccer, tennis, etc.)	33	2	Picnic Areas	38	
Gymnasium Type Spaces	31	4	Amphitheatres/Event Spaces/Band Shelters	36	
(e.g. basketball, volleyball, badminton, etc.)			Mountain Bike Park	33	
Ice arena facilities (e.g. hockey, figure skating, etc)	30	5	Dog Off Leash Areas	33	
Indoor Child Playgrounds	29	6	Open Spaces (e.g. parks, greenfields)	33	
Youth Centre	28	7	Access to the River	32	
Museum/Interpretive Facilities	28	7	Child Playgrounds	32	
Indoor Climbing Wall	28	7	Water Spray Parks	31	
Performing Arts/Show Spaces	27	10	Outdoor Swimming Areas	31	
Dance/Program/Martial Arts Rooms	27	10	Community Gardens	29	
Court Sports (e.g. racquetball, squash, etc.)	27	10	Track and Field Spaces	29	
Library	26	13	Campgrounds	28	
Art Display Spaces	26	13	ATV/Dirt Bike Trails	28	
Pool Facilities Expansion/Attractions	25	15	Skateboard Parks	26	
Leisure Ice Surfaces (non-hockey)	23	16	BMX Bicycle Parks	24	
Community Meeting Rooms	22	17	Outdoor Boarded Skating Rinks	24	
Classroom/Training Space	22	17	Pickleball Courts	23	
Community Hall/Banquet Facilities	15	19	Sports Fields (soccer, football)	23	
Curling Rinks	15	19	Basketball Courts	22	
			Ball Diamonds	18	
			Tennis Courts	18	







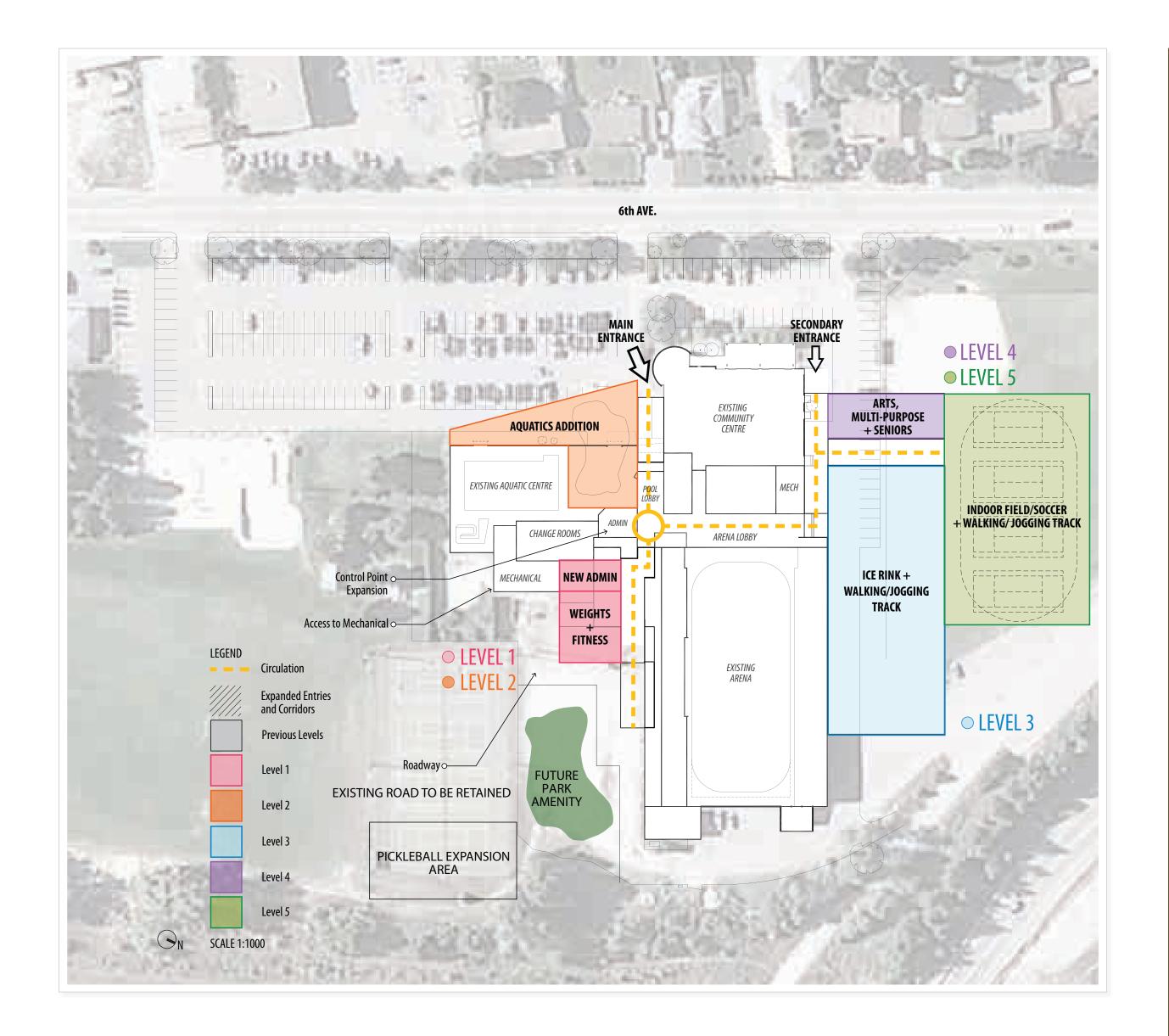
The Castlegar and District Community Complex Draft Recommendations

Future expansion and enhancements to the CDCC should proceed as outlined in the table.

Expansion/Retrofit Idea	Estimated Capital Cost (2015 Dollars)
Level 1: Fitness/ Wellness Upgrades	\$4.2M
Level 2: Aquatics Upgrades	\$6.5M
Level 3: Ice Arena and Walking/Jogging Track	\$11M
Level 4: Multipurpose/ Seniors Addition/Arts	\$2.4M
Level 5: Field House and Walking/Jogging Track	\$8.7M
Total Estimated Capital Cost	\$33M

(Pages 44 – 54)

The graphic below shows that all elements can be accommodated on the existing site.



Using post-it notes please provide your comments about these recommendations related to expansion and enhancement of the CDCC.









Financing Recreation: Draft Recommendations

- a. The CDRC should develop a sponsorship policy and program. (Page 58)
 b. The CDRC should explore non-traditional, complementary fee based services and amenities on a break even or profit basis. (Page 60)
 - i. This could include event promotions, leasing space to organizations, etc.

Service Delivery: Draft Recommendations

- a. The CDRC may participate in RDCK wide cooperation efforts if the area in question provides enhanced value to the CDRC and does not compromise current service levels (Page 64)
- b. The CDRC should support organized interest groups equitably and transparently based on ongoing communication (Page 71)
- c. The CDRC should help facilitate the development of a community-wide volunteer strategy (Page 73)
- d. The CDRC should develop an ongoing community liaison strategy that

considers the general public, interest groups, and partners. (Page 80)

Using post-it notes please provide your comments about these service delivery recommendations.







Please Provide Your Feedback!

Please provide your comments about these draft strategic recommendations.

Your opinions are important to us!



Program Delivery: Draft Recommendations

1. Use the space to provide any comments you have regarding the draft program delivery recommendations.

Infrastructure: Draft Recommendations

2. Use the space to provide any comments you have about the "key facility considerations". (Starting on Page 37 of the draft Master Plan.)

The Castlegar and District Community Complex: Draft Recommendations

3. For each of the expansion/retrofit ideas (Page 46 – 54), please indicate whether you think it is a short, medium, or long term priority.

Expansion/Retrofit Idea	Short Term	Medium Term	Long Term
Level 1: Fitness/Wellness Upgrades			
Level 2: Aquatics Upgrades			
Level 3: Ice Arena and Walking/Jogging Track			
Level 4: Multipurpose/Seniors Addition/Arts			
Level 5: Field House and Walking/Jogging Track			

Service Delivery: Draft Recommendations

4. Use the space to provide any comments you have regarding the draft service delivery recommendations.

General Comments

5. Use the space to provide any comments you have generally about the draft Recreation Master Plan.

Res	sidency		
6.	Where do you live?		
	Castlegar	Area I	

Other (please specify):	
RC strategies	НСМЛ

This information and the feedback form are also available online: www.rdck.ca

The comments received will be considered as the Recreation Master Plan is finalized.







